

GENERAL NOTES:

- — Indicates Set 1.270" outside diameter x 18" long Reinforcing Bar weighing 4.303 lbs. per lineal foot. All other Lot and Outlot corners are staked with 0.750" outside diameter x 18" long Reinforcing Bar weighing 1.502 lbs. per lineal foot. (Unless otherwise noted)
- — Indicates Found Monument, See Plan.
- All linear measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to nearest second and computed to the nearest half-second.
- All bearings are referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD-27), in which the West line of the S.W. 1/4 of Section 33, Town 8 North, Range 20 East, Bears North 00°09'10" East.
- Outlots 13 and 15 contain Wetlands, I.N.R.A. and open space.
- Outlot 16 is retained by the developer for future development.
- The Owners of the residential Lots within this Subdivision and any previous and future additions to this Subdivision shall each own an equal undivided fractional interest in Outlots 13, 14 and 15 of this Subdivision. Waukesha County shall not be liable for fees or special charges in the event they become the owner of any Lot or Outlot in the Subdivision by reason of tax delinquency.
- Stormwater Management Facilities are located on Outlot 14 of this Subdivision. The owners of the residential lots within this Subdivision and any previous and future additions to this Subdivision shall each be responsible for keeping these areas free of any obstructions that may restrict or block this flow. These Private Drainage Easements are marked "A".
- Wetland and Isolated Natural Resource Area (NRA) boundaries shown hereon were field delineated by Heartland Ecological Group, Inc. (Eric Parker) on May 4-5, 2023.
- All electric, telephone, and communication distribution lines and laterals, including CATV cables, constructed after the recording of this Subdivision shall be placed underground.
- All existing structures within the development will be razed along with any possible well and private sewage systems when future development of Outlot 16 takes place.
- Private Drainage Easements are established to provide for the unobstructed flow of storm water runoff from adjacent and upstream properties. Owners of lots on which these private drainage easements exist shall be responsible for keeping these areas free of any obstructions that may restrict or block this flow. These Private Drainage Easements are marked "A".
- All Easements marked "B" are Public Easements granted to the Village of Menomonee Falls.
- We Energies transformers to be installed along common lotline. Home design and building footprints must adhere to the separation design requirements from the established We Energies padmounted transformer location for doors, air intake openings, and windows per Wisconsin State Electrical Code, Volume 1 Chapter PSC114 Section 317 "Outdoor location of oil-insulated padmounted transformers near building". Any cost for relocation of transformers due to the homes failed compliance with the Chapter PSC114 code mentioned above will be the financial responsibility of the homeowner.

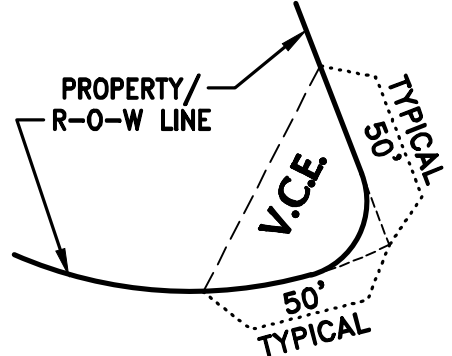
BASEMENT RESTRICTION FOR GROUNDWATER NOTE:

Although all Lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, some Lots contain soil conditions that, due to the possible presence of groundwater near the surface, may require additional soil engineering and foundation design with regard to basement construction. It is recommended that a licensed professional engineer design a basement and foundation that will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that other special measures be taken. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein.

VILLAGE VISION CORNER EASEMENT DETAIL (V.C.E.)

V.C.E. APPLIES TO:

Lots 54, 56, 57, 59, 60, 64, 69, 70, 82, 86, 87 and Outlot 14 are herein subject to a Vision Corner Easement as shown on this plot in that nothing may be grown, stored or erected to a height more than two feet above the intersection elevation.



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



19035 W. Capitol Drive
Suite 200
Brookfield, WI 53045
Phone: (262) 790-1480
Fax: (262) 790-1481

QUIETWOOD ADDITION NO. 2

BEING A REDIVISION OF OUTLOT 12 OF "QUIETWOOD ADDITION NO. 1", BEING LOCATED IN A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWN 8 NORTH, RANGE 20 EAST, IN THE VILLAGE OF MENOMONEE FALLS, WAUKESHA COUNTY, WISCONSIN.

OVERALL DETAIL SHEET

LEGEND

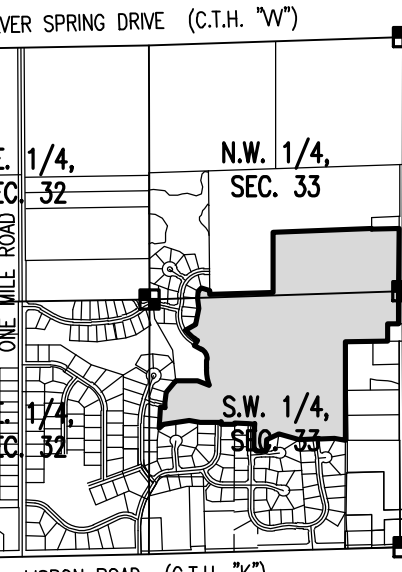
- INDICATES SET 1.270" O.D. REINFORCING BAR
- INDICATES FOUND MONUMENT, SEE PLAN
- INDICATES WETLAND LINE
- - - - - INDICATES ISOLATED NATURAL RESOURCE AREA LINE (I.N.R.A.)

OWNER:

QUIET WOOD
DEVELOPMENT, LLC
3330 GATEWAY ROAD
SUITE 200
BROOKFIELD, WI 53045
PHONE: (414) 881-2266

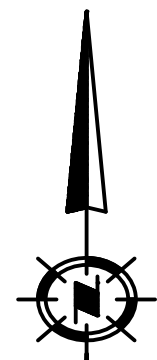
LOT CHARACTERISTICS: (PRD ZONING)

| LOTS 50-69 87-90: | |
|---------------------|-------------|
| MIN. LOT AREA: | 17,000 S.F. |
| MIN. LOT WIDTH: | 110 FT. |
| MIN. FRONT SETBACK: | 30 FT. |
| MIN. REAR SETBACK: | 30 FT. |
| MIN. SIDE SETBACK: | 15 FT. |
| LOTS 70-86: | |
| MIN. LOT AREA: | 12,500 S.F. |
| MIN. LOT WIDTH: | 80 FT. |
| MIN. FRONT SETBACK: | 25 FT. |
| MIN. REAR SETBACK: | 25 FT. |
| MIN. SIDE SETBACK: | 12.5 FT. |



LOCALITY MAP:

EAST 1/2, SEC. 32,
WEST 1/2, SEC. 33,
T. 8 N., R. 20 E.
SCALE: 1"=2000'



SCALE: 1"=150'
0 75 150 300

QUIETWOOD ADDITION NO. 2

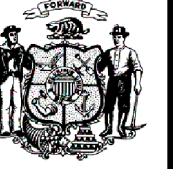
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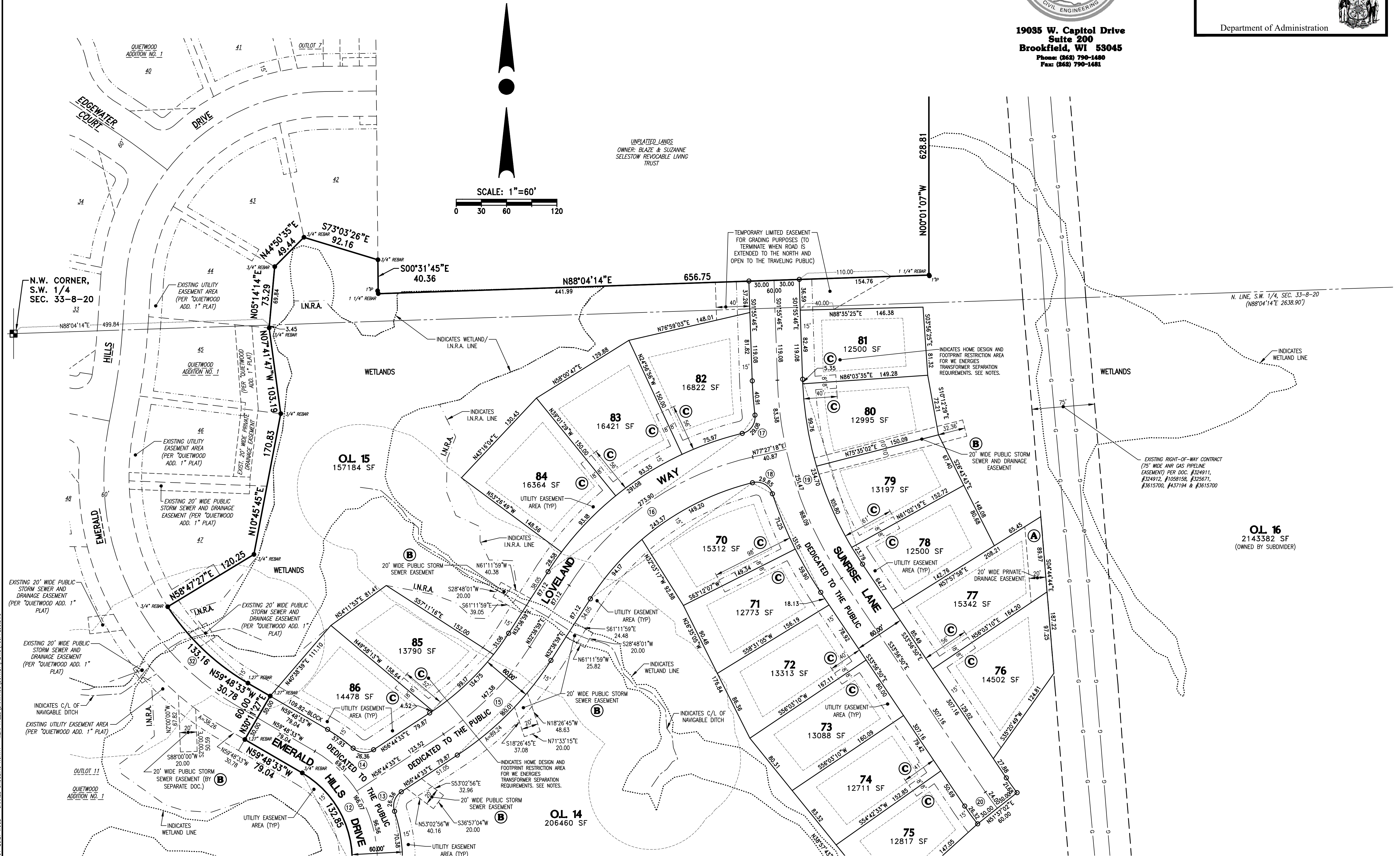
19035 W. Capitol Drive
Suite 200
Brookfield, WI 53045
Phone: (262) 790-1480
Fax: (262) 790-1481

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Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

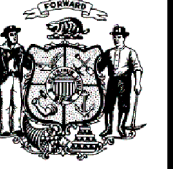


Department of Administration

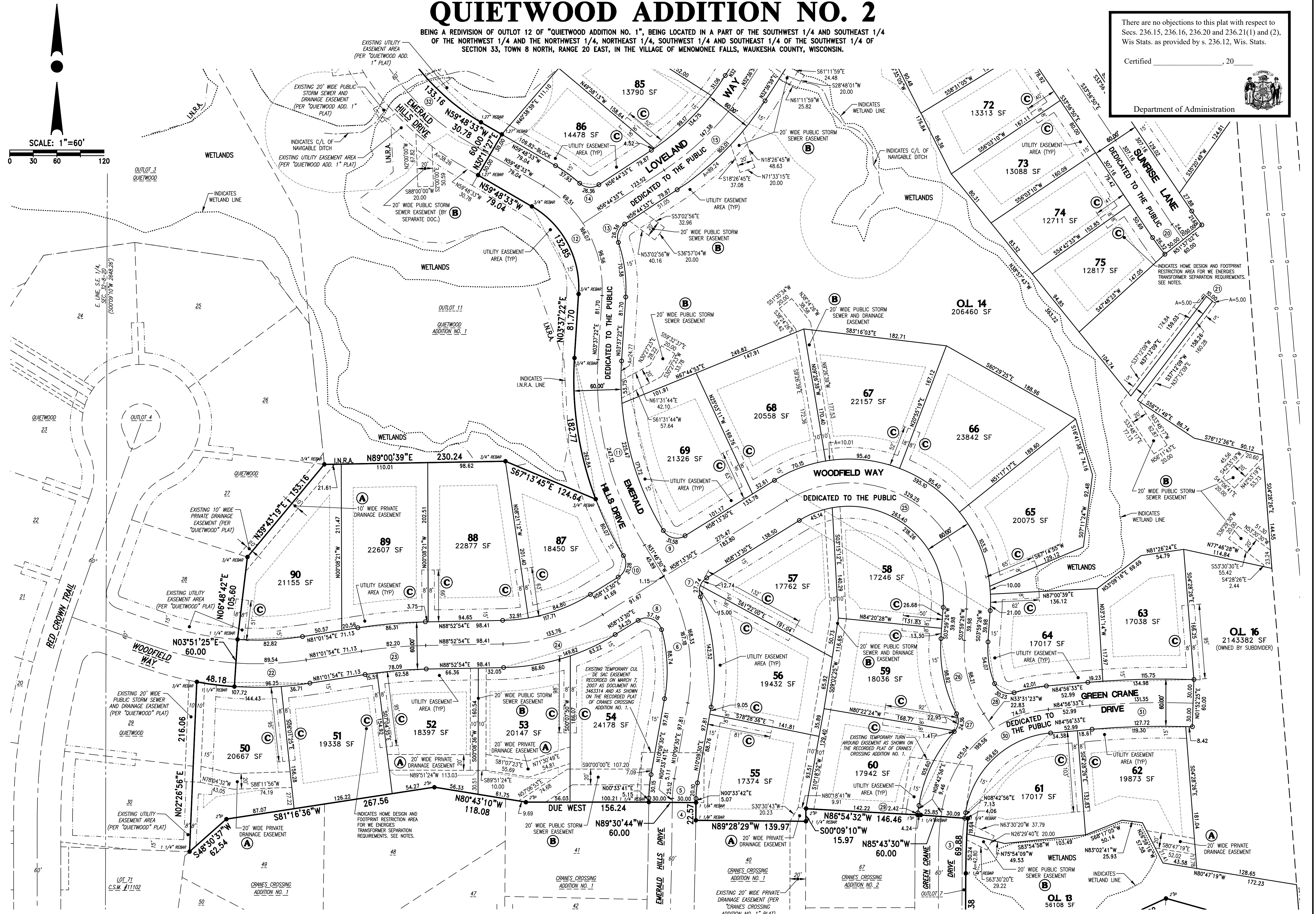


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Certified _____, 20____



Department of Administration



C:\2023\23-014-1097 QUIET WOOD - CRANES CROSSING NORTH - MEN. FALL'S\DRAWINGS\SURVEY\PLATS\166FPI.03.DWG

QUIETWOOD ADDITION NO. 2

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N.E. CORNER N.W. 1/4
SEC. 33-8-20
WIS. STATE PLANE COORD.
SYSTEM-SOUTH ZONE (NAD27)
FND. CONC. MON. W/ BRASS CAP
N 413,469.53
E 2,497,914.11

UNPLATTED LANDS
OWNER: BLAZE & SUZANNE
SELESTOW REVOCABLE LIVING
TRUST

C.S.M. #154

S00°06'53"W
4.29
N88°21'05"E

284.73

N88°05'03"E

1029.20

1 1/4" REBAR

628.81

N00°01'07"W

EXISTING RIGHT-OF-WAY CONTRACT
(75' WIDE ANR GAS PIPELINE
EASEMENT) PER DOC. #324911,
#324912, #1058158, #325671,
#3615700, #437194 & #3615700

UNPLATTED LANDS
OWNER: BLAZE & SUZANNE
SELESTOW REVOCABLE LIVING
TRUST

TEMPORARY LIMITED EASEMENT
FOR GRADING PURPOSES (TO
TERMINATE WHEN ROAD IS
EXTENDED TO THE NORTH AND
OPEN TO THE TRAVELING PUBLIC)

N88°04'14"E 656.75

1 1/4" REBAR

N. LINE, S.W. 1/4, SEC. 33-8-20
(N88°04'14"E 2638.90')

OL 16
2143382 SF
(OWNED BY SUBDIVIDER)

1 1/4" REBAR

1.32

S88°04'14"W 40.02

S.E. CORNER N.W. 1/4
SEC. 33-8-20
WIS. STATE PLANE COORD.
SYSTEM-SOUTH ZONE (NAD27)
FND. CONC. MON. W/ BRASS CAP
N 410,823.54
E 2,497,908.81

340.49

339.17

S00°11'30"E

E. LINE S.W. 1/4, SEC. 33-8-20
(N00°11'30"W 2664.64')

40.00'

1 1/4" REBAR

EXISTING BUILDINGS
TO BE RAZED

1 1/4" REBAR

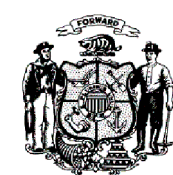
N89°50'10"W 116.70

UNPLATTED LANDS
OWNER: JAMIE &
REBECCA ELLINGER

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



19035 W. Capitol Drive
Suite 200
Brookfield, WI 53045
Phone: (262) 790-1480
Fax: (262) 790-1481

REVISED THIS 4th DAY OF DECEMBER, 2025
DATED THIS 26th DAY OF SEPTEMBER, 2025

THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, P.L.S. (S-2972)

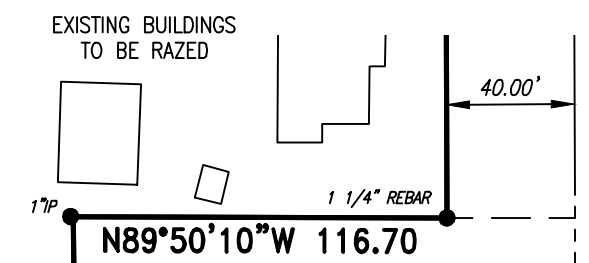
SHEET 4 OF 8

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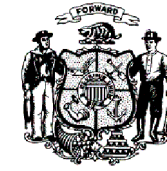
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UNPLATTED
LANDS
OWNER: JAMIE
& REBECCA
ELLINGER

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Certified _____, 20__



Department of Administration

SCALE: 1"=60'
0 30 60 120

OL 16
2143382 SF
(OWNED BY SUBDIVIDER)

EXISTING RIGHT-OF-WAY CONTRACT
(75' WIDE ANR GAS PIPELINE
EASEMENT) PER DOC. #324911,
#324912, #1058158, #325671,
#3615700, #437194 & #3615700

S.E. CORNER S.W. 1/4
SEC. 33-8-20
WIS. STATE PLANE COORD.
SYSTEM-SOUTH ZONE (NAD27)
FND. CONC. MON. W/ BRASS CAP
N 408,159.17
E 2,497,917.72

REVISED THIS 4th DAY OF DECEMBER, 2025
DATED THIS 26th DAY OF SEPTEMBER, 2025

SHEET 5 OF 8

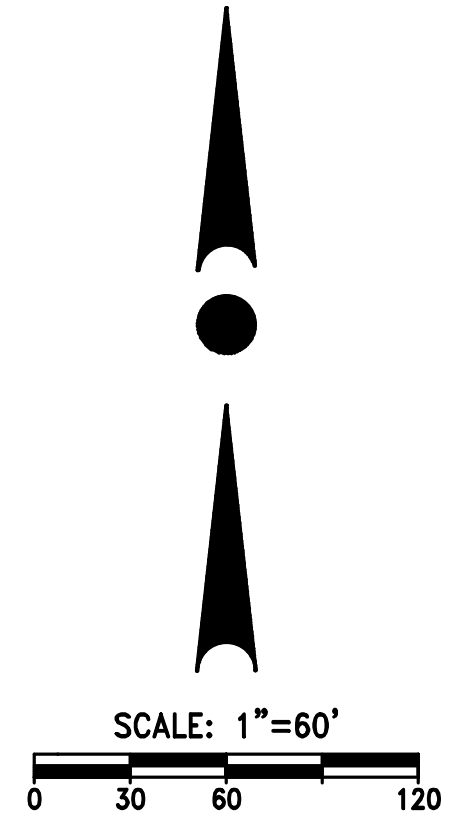
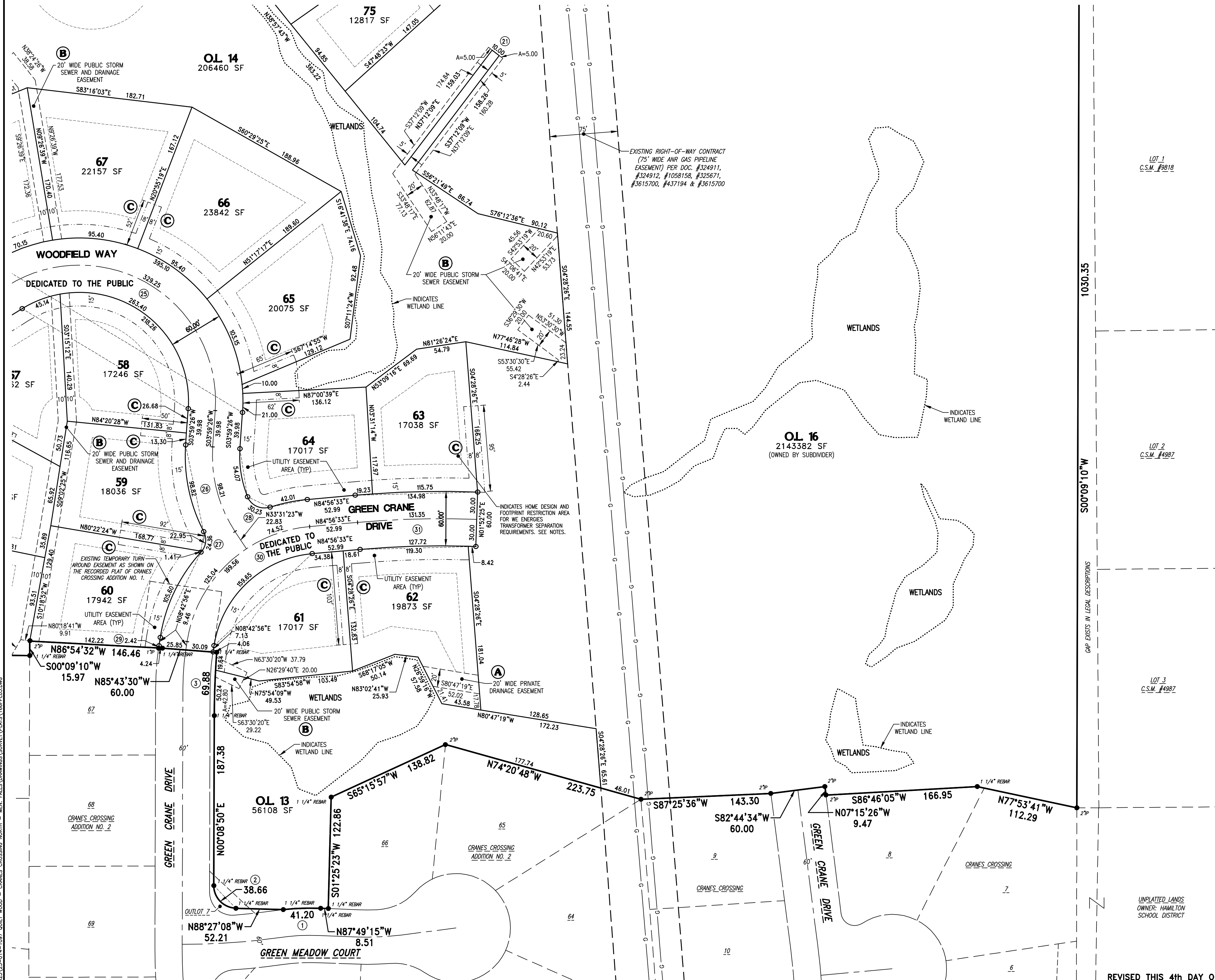
X:\2023\23-014-1097 QUIET WOOD - GRANES CROSSING NORTH - MEN. FALLS DRAWINGS\SURVEY PLATS\166FLO3.DWG

23-014-1097-01

THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, P.L.S. (S-2972)

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CURVE TABLE:

| NO. | LOT(S) | RADIUS | CENTRAL ANGLE | ARC | CHORD | CHORD BEARING | TANGENT IN | TANGENT OUT |
|-----|-----------|---------|---------------|--------|--------|---------------|-------------|-------------|
| 1 | BOUNDARY | 280.00 | 8°25'51" | 41.20 | 41.16 | S87°57'49.5"W | N87°49'15"W | S83°44'54"W |
| 2 | BOUNDARY | 25.00 | 88°35'58" | 38.66 | 34.92 | N44°09'09"W | N88°27'08"W | N00°08'50"E |
| 3 | BOUNDARY | 970.00 | 4°07'40" | 69.88 | 69.87 | N02°12'40"E | N00°08'50"E | N04°16'30"E |
| | OUTLOT 13 | 970.00 | 2°58'04" | 50.24 | 50.24 | N01°37'52"E | N00°08'50"E | N03°06'54"E |
| | 61 | 970.00 | 1°09'36" | 19.64 | 19.64 | N03°41'42"E | N03°06'54"E | N04°16'30"E |
| 4 | BOUNDARY | 8030.00 | 0°09'40" | 22.57 | 22.57 | N00°34'06"E | N00°38'56"E | N00°29'16"E |
| 5 | C/L | 150.00 | 9°35'49" | 25.12 | 25.10 | S05°21'35.5"W | S10°09'30"W | S00°33'41"W |
| | EAST | 120.00 | 9°35'49" | 20.10 | 20.08 | S05°21'35.5"W | S10°09'30"W | S00°33'41"W |
| | WEST | 180.00 | 9°35'49" | 30.15 | 30.11 | S05°21'35.5"W | S10°09'30"W | S00°33'41"W |
| 6 | C/L | 230.00 | 41°56'00" | 168.33 | 164.60 | N10°48'30"W | N10°09'30"E | N31°46'30"W |
| | C/L SOUTH | 230.00 | 41°38'47" | 167.18 | 163.52 | N10°39'53.5"W | N10°09'30"E | N31°29'17"W |
| | C/L NORTH | 230.00 | 0°17'13" | 1.15 | 1.15 | N31°37'53.5"W | N31°29'17"W | N31°46'30"W |
| | EAST | 260.00 | 31°24'26" | 142.52 | 140.74 | N05°32'43"W | N10°09'30"E | N21°14'56"W |
| | WEST | 200.00 | 25°25'25" | 88.74 | 88.02 | N02°33'12.5"W | N10°09'30"E | N15°15'55"W |
| 7 | TOTAL | 20.00 | 79°28'26" | 27.74 | 25.57 | S18°29'17"W | S58°13'30"W | S21°14'56"E |
| | 56 | 20.00 | 42°57'51" | 15.00 | 14.65 | S00°13'59.5"W | S21°42'55"W | S21°14'56"E |
| | 57 | 20.00 | 36°30'35" | 12.74 | 12.53 | S39°58'12.5"W | S58°13'30"W | S21°42'55"W |
| 8 | 54 | 20.00 | 106°30'35" | 37.18 | 32.05 | N68°31'12.5"W | N15°15'55"W | S58°13'30"W |
| 9 | 69 | 20.00 | 90°29'00" | 31.58 | 28.40 | S76°32'00"E | S31°17'30"E | N58°13'30"E |
| 10 | 87 | 20.00 | 89°37'26" | 31.28 | 28.19 | N13°24'47"E | N58°13'30"E | N31°23'56"W |
| 11 | C/L | 400.00 | 35°23'52" | 247.12 | 243.21 | S14°04'34"E | S03°37'22"W | S31°46'30"E |
| | EAST | 370.00 | 34°54'52" | 225.47 | 222.00 | S13°50'04"E | S03°37'22"W | S31°17'30"E |
| | 69 | 370.00 | 26°35'28" | 171.72 | 170.18 | S17°59'46"E | S04°42'02"E | S31°17'30"E |
| | OUTLOT 14 | 370.00 | 8°19'24" | 53.75 | 53.70 | S00°32'20"E | S03°37'22"W | S04°42'02"E |
| | WEST | 430.00 | 35°01'18" | 262.84 | 258.76 | S13°53'17"E | S03°37'22"W | S31°23'56"E |
| | 87 | 430.00 | 10°40'05" | 80.07 | 79.95 | S26°03'53.5"E | S20°43'51"E | S31°23'56"E |
| | BOUNDARY | 430.00 | 24°21'13" | 182.77 | 181.40 | S08°33'14.5"E | S03°37'22"W | S20°43'51"E |
| 12 | C/L | 150.00 | 63°25'55" | 166.07 | 157.71 | N28°05'35.5"W | N03°37'22"E | N59°48'33"W |
| | C/L SOUTH | 150.00 | 36°52'49" | 96.56 | 94.89 | N14°49'02.5"W | N03°37'22"E | N33°15'27"W |
| | C/L NORTH | 150.00 | 26°33'06" | 69.51 | 68.89 | N46°32'00"W | N33°15'27"W | N59°48'33"W |
| | OUTLOT 14 | 180.00 | 22°24'10" | 70.38 | 69.93 | N07°34'43"W | N03°37'22"E | N18°46'48"W |
| | 86 | 180.00 | 12°04'27" | 37.93 | 37.86 | N53°46'19.5"W | N47°44'06"W | N59°48'33"W |
| | WEST | 120.00 | 63°25'55" | 132.85 | 126.17 | N28°05'35.5"W | N03°37'22"E | N59°48'33"W |
| 13 | OUTLOT 14 | 20.00 | 75°31'21" | 26.36 | 24.49 | S18°58'52.5"W | S56°44'33"W | S18°46'48"E |
| 14 | 86 | 20.00 | 75°31'21" | 26.36 | 24.49 | S85°29'46.5"E | S47°44'06"E | N56°44'33"E |
| 15 | C/L | 350.00 | 24°07'34" | 147.38 | 146.29 | N44°40'46"E | N56°44'33"E | N32°36'59"E |
| | SOUTHEAST | 380.00 | 24°07'34" | 160.01 | 158.83 | N44°40'46"E | N56°44'33"E | N32°36'59"E |
| | NORTHWEST | 320.00 | 24°07'34" | 134.75 | 133.75 | N44°40'46"E | N56°44'33"E | N32°36'59"E |
| | 86 | 320.00 | 0°48'34" | 4.52 | 4.52 | N56°20'16"E | N56°44'33"E | N55°55'59"E |
| | 85 | 320.00 | 17°45'22" | 99.17 | 98.77 | N47°03'18"E | N55°55'59"E | N38°10'37"E |
| | OUTLOT 15 | 320.00 | 5°33'38" | 31.06 | 31.04 | N35°23'48"E | N38°10'37"E | N32°36'59"E |

CURVE TABLE:

| NO. | LOT(S) | RADIUS | CENTRAL ANGLE | ARC | CHORD | CHORD BEARING | TANGENT IN | TANGENT OUT |
|-----|--------------|--------|---------------|--------|--------|---------------|-------------|-------------|
| 16 | C/L | 350.00 | 44°50'19" | 273.90 | 266.97 | S55°02'08.5"W | S77°27'18"W | S32°36'59"W |
| | SOUTHEAST | 320.00 | 43°34'30" | 243.37 | 237.55 | S54°24'14"W | S76°11'29"W | S32°36'59"W |
| | OUTLOT 14 | 320.00 | 16°51'42" | 94.17 | 93.83 | S41°02'50"W | S49°28'41"W | S32°36'59"W |
| | 70 | 320.00 | 26°42'48" | 149.20 | 147.85 | S62°50'05"W | S76°11'29"W | S49°28'41"W |
| | NORTHWEST | 380.00 | 43°53'21" | 291.08 | 284.02 | S54°33'39.5"W | S76°30'20"W | S32°36'59"W |
| | OUTLOT 15 | 380.00 | 4°18'32" | 28.58 | 28.57 | S34°46'15"W | S36°55'31"W | S32°36'59"W |
| | 84 | 380.00 | 14°03'00" | 93.18 | 92.95 | S43°57'01"W | S50°58'31"W | S36°55'31"W |
| | 83 | 380.00 | 14°04'33" | 93.35 | 93.12 | S58°00'47.5"W | S65°03'04"W | S50°58'31"W |
| | 82 | 380.00 | 11°27'16" | 75.97 | 75.84 | S70°46'42"W | S76°30'20"W | S65°03'04"W |
| 17 | 82 | 20.00 | 83°19'04" | 29.08 | 26.59 | N34°50'48"E | N76°30'20"E | N06°48'44"W |
| 18 | 70 | 20.00 | 85°30'58" | 29.85 | 27.16 | N61°03'02"W | N18°17'33"W | S76°11'29"W |
| 19 | C/L | 450.00 | 32°01'04" | 251.47 | 248.21 | S17°56'18"E | S01°55'46"E | S33°56'50"E |
| | C/L NORTH | 450.00 | 10°36'56" | 83.38 | 83.26 | S07°14'14"E | S01°55'46"E | S12°32'42"E |
| | C/L SOUTH | 450.00 | 21°24'08" | 168.09 | 167.12 | S23°14'46"E | S12°32'42"E | S33°56'50"E |
| | EAST | 420.00 | 32°01'04" | 234.70 | 231.66 | S17°56'18"E | S01°55'46"E | S33°56'50"E |
| | 81 | 420.00 | 0°43'46" | 5.35 | 5.35 | S02°17'39"E | S01°55'46"E | S02°39'32"E |
| | 80 | 420.00 | 13°36'33" | 99.76 | 99.53 | S09°27'48.5"E | S02°39'32"E | S16°16'05"E |
| | 79 | 420.00 | 14°26'00" | 105.80 | 105.52 | S23°29'05"E | S16°16'05"E | S30°42'05"E |
| | 78 | 420.00 | 3°14'45" | 23.79 | 23.79 | S32°19'27.5"E | S30°42'05"E | S33°56'50"E |
| | 82 | 480.00 | 4°52'58" | 40.91 | 40.89 | S04°22'15"E | S01°55'46"E | S06°48'44"E |
| | 70 + 71 | 480.00 | 15°39'17" | 131.15 | 130.74 | S26°07'11.5"E | S18°17'33"E | S33°56'50"E |
| | 70 | 480.00 | 8°30'20" | 71.25 | 71.19 | S22°32'43"E | S18°17'33"E | S26°47'53"E |
| | 71 | 480.00 | 7°08'57" | 59.90 | 59.86 | S30°22'21.5"E | S26°47'53"E | S33°56'50"E |
| 20 | C/L | 310.00 | 4°26'08" | 24.00 | 23.99 | S36°09'54"E | S33°56'50"E | S38°22'58"E |
| | NORTHEAST | 280.00 | 4°26'08" | 21.68 | 21.67 | S36°09'54"E | S33°56'50"E | S38°22'58"E |
| | SOUTHWEST | 340.00 | 4°26'08" | 26.32 | 26.31 | S36°09'54"E | S33°56'50"E | S38°22'58"E |
| 21 | OUTLOT 14/16 | 340.00 | 1°41'08" | 10.00 | 10.00 | S51°57'17"E | S51°06'43"E | S52°47'51"E |
| 22 | C/L | 400.00 | 12°49'31" | 89.54 | 89.35 | N87°26'39.5"E | S86°08'35"E | N81°01'54"E |
| | NORTH | 370.00 | 12°49'31" | 82.82 | 82.65 | N87°26'39.5"E | S86°08'35"E | N81°01'54"E |
| | SOUTH | 430.00 | 19°14'40" | 144.43 | 143.75 | S89°20'46"E | S79°43'26"E | N81°01'54"E |
| | BOUNDARY | 430.00 | 6°25'09" | 48.18 | 48.15 | S82°56'00.5"E | S79°43'26"E | S86°08'35"E |
| | R/W | 430.00 | 12°49'31" | 96.25 | 96.05 | N87°26'39.5"E | S86°08'35"E | N81°01'54"E |
| | 50 | 430.00 | 14°21'09" | 107.72 | 107.43 | S86°54'00.5"E | S79°43'26"E | N85°55'25"E |
| | 51 | 430.00 | 4°53'31" | 36.71 | 36.70 | N83°28'39.5"E | N85°55'25"E | N81°01'54"E |
| 23 | C/L | 600.00 | 7°51'00" | 82.20 | 82.14 | S84°57'24"W | S88°52'54"W | S81°01'54"W |
| | NORTH | 630.00 | 7°51'00" | 86.31 | 86.25 | S84°57'24"W | S88°52'54"W | S81°01'54"W |
| | SOUTH | 570.00 | 7°51'00" | 78.09 | 78.03 | S84°57'24"W | S88°52'54"W | S81°01'54"W |
| | 51 | 570.00 | 1°33'34" | 15.51 | 15.51 | S81°48'41"W | S82°35'28"W | S81°01'54"W |
| | 52 | 570.00 | 6°17'26" | 62.58 | 62.55 | S85°44'11"W | S88°52'54"W | S82°35'28"W |

CURVE TABLE:

| NO. | LOT(S) | RADIUS | CENTRAL ANGLE | ARC | CHORD | CHORD BEARING | TANGENT IN | TANGENT OUT |
|-----|-----------|---------|---------------|--------|--------|---------------|-------------|-------------|
| 24 | C/L | 250.00 | 30°39'24" | 133.76 | 132.17 | N73°33'12"E | N88°52'54"E | N58°13'30"E |
| | NORTH | 220.00 | 30°39'24" | 117.71 | 116.31 | N73°33'12"E | N88°52'54"E | N58°13'30"E |
| | 88 | 220.00 | 8°34'18" | 32.91 | 32.88 | N84°35'45"E | N88°52'54"E | N80°18'36"E |
| | 87 | 220.00 | 22°05'06" | 84.80 | 84.28 | N69°16'03"E | N80°18'36"E | N58°13'30"E |
| | SOUTH | 280.00 | 30°39'24" | 149.82 | 148.04 | N73°33'12"E | N88°52'54"E | N58°13'30"E |
| | 53 | 280.00 | 17°43'16" | 86.60 | 86.26 | N80°01'16"E | N88°52'54"E | N71°09'38"E |
| | 54 | 280.00 | 12°56'08" | 63.22 | 63.08 | N64°41'34"E | N71°09'38"E | N58°13'30"E |
| 25 | C/L | 150.00 | 125°45'56" | 329.25 | 267.02 | N58°53'32"W | N03°59'26"E | S58°13'30"W |
| | NORTHEAST | 180.00 | 125°45'56" | 395.10 | 320.43 | N58°53'32"W | N03°59'26"E | S58°13'30"W |
| | 68 | 180.00 | 22°19'51" | 70.15 | 69.71 | S69°23'25.5"W | S80°33'21"W | S58°13'30"W |
| | 67 | 180.00 | 30°21'58" | 95.40 | 94.29 | N84°15'40"W | N69°04'41"W | S80°33'21"W |
| | 66 | 180.00 | 30°21'58" | 95.40 | 94.29 | N53°53'42"W | N38°42'43"W | N69°04'41"W |
| | 65 | 180.00 | 32°50'01" | 103.15 | 101.74 | N22°17'42.5"W | N05°52'42"W | N38°42'43"W |
| | OUTLOT 14 | 180.00 | 3°11'01" | 10.00 | 10.00 | N04°17'11.5"W | N02°41'41"W | N05°52'42"W |
| | 64 | 180.00 | 6°41'07" | 21.00 | 20.99 | N00°38'52.5"E | N03°59'26"E | N02°41'41"W |
| | SOUTHWEST | 120.00 | 125°45'56" | 263.40 | 213.62 | N58°53'32"W | N03°59'26"E | S58°13'30"W |
| | 57 | 120.00 | 21°33'11" | 45.14 | 44.87 | S69°00'05.5"W | S79°46'41"W | S58°13'30"W |
| | 58 | 120.00 | 104°12'45" | 218.26 | 189.40 | N48°06'56.5"W | N03°59'26"E | S79°46'41"W |
| 26 | C/L | 150.00 | 37°30'49" | 98.21 | 96.47 | S14°45'58.5"E | S03°59'26"W | S33°31'23"E |
| | EAST | 120.00 | 25°49'06" | 54.07 | 53.62 | S08°55'07"E | S03°59'26"W | S21°49'40"E |
| | WEST | 180.00 | 31°27'24" | 98.82 | 97.59 | S11°44'16"E | S03°59'26"W | S27°27'58"E |
| 27 | TOTAL | 20.00 | 69°47'44" | 24.36 | 22.88 | N07°25'54"E | N42°19'46"E | N27°27'58"W |
| | 59 | 20.00 | 65°45'17" | 22.95 | 21.71 | N05°24'40.5"E | N38°17'19"E | N27°27'58"W |
| | 60 | 20.00 | 4°02'27" | 1.41 | 1.41 | N40°18'32.5"E | N42°19'46"E | N38°17'19"E |
| 28 | 64 | 20.00 | 86°36'10" | 30.23 | 27.43 | S65°07'45"E | S21°49'40"E | N71°34'10"E |
| 29 | 60 | 310.00 | 0°26'48" | 2.42 | 2.42 | S08°29'32"W | S08°42'56"W | S08°16'08"W |
| 30 | C/L | 150.00 | 76°13'37" | 199.56 | 185.17 | S46°49'44.5"W | S84°56'33"W | S08°42'56"W |
| | C/L SW | 150.00 | 47°45'41" | 125.04 | 121.45 | S32°35'46.5"W | S56°28'37"W | S08°42'56"W |
| | C/L NE | 150.00 | 28°27'56" | 74.52 | 73.76 | S70°42'35"W | S84°56'33"W | S56°28'37"W |
| | 60 | 180.00 | 33°36'50" | 105.60 | 104.09 | S25°31'21"W | S42°19'46"W | S08°42'56"W |
| | 64 | 180.00 | 13°22'23" | 42.01 | 41.92 | S78°15'21.5"W | S84°56'33"W | S71°34'10"W |
| | SOUTHEAST | 120.00 | 76°13'37" | 159.65 | 148.13 | S46°49'44.5"W | S84°56'33"W | S08°42'56"W |
| 31 | C/L | 1050.00 | 7°10'03" | 131.35 | 131.26 | S88°31'34.5"W | N87°53'24"W | S84°56'33"W |
| | NORTH | 1080.00 | 7°09'39" | 134.98 | 134.89 | S88°31'22.5"W | N87°53'48"W | S84°56'33"W |
| | 64 | 1080.00 | 1°01'13" | 19.23 | 19.23 | S85°27'09.5"W | S85°57'46"W | S84°56'33"W |
| | 63 | 1080.00 | 6°08'26" | 115.75 | 115.69 | S89°01'59"W | N87°53'48"W | S85°57'46"W |
| | SOUTH | 1020.00 | 7°10'28" | 127.72 | 127.64 | S88°31'47"W | N87°52'59"W | S84°56'33"W |
| | 62 | 1020.00 | 6°42'05" | 119.30 | 119.23 | S88°17'35.5"W | N88°21'22"W | S84°56'33"W |
| | OUTLOT 16 | 1020.00 | 0°28'23" | 8.42 | 8.42 | N88°07'10.5"W | N87°52'59"W | N88°21'22"W |
| 32 | BOUNDARY | 285.00 | 26°46'14" | 133.16 | 131.95 | S46°25'26"E | S33°02'19"E | S59°48'33"E |

QUIETWOOD ADDITION NO. 2

BEING A REDIVISION OF OUTLOT 12 OF "QUIETWOOD ADDITION NO. 1", BEING LOCATED IN A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWN 8 NORTH, RANGE 20 EAST, IN THE VILLAGE OF MENOMONEE FALLS, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

I, Grady L. Gosser, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped a redivision of Outlot 12 of "QUIETWOOD ADDITION NO. 1", recorded in the Office of the Register of Deeds for Waukesha County on August 15, 2025 , as Document Number 4832205, being located in a part of the Southwest 1/4 and Southeast 1/4 of the Northwest 1/4 and the Northwest 1/4, Northeast 1/4, Southwest 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 33, Town 8 North, Range 20 East, in the Village of Menomonee Falls, Waukesha County, Wisconsin

Said Parcel contains 3,503,903 Square Feet (or 80.4385 Acres) of land, more or less.

That I have made such survey, land division, and map by the direction of QUIET WOOD DEVELOPMENT, LLC, owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Menomonee Falls in surveying, dividing and mapping the same.

Dated this ____ Day of _____, 20 ____.

Grady L. Gosser, P.L.S.
Professional Land Surveyor, S-2972
TRIO ENGINEERING, LLC
19035 W. Capitol Drive, Suite 200
Brookfield, WI 53045
Phone: (262)790-1480 Fax: (262)790-1481

CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

QUIET WOOD DEVELOPMENT, LLC, a Wisconsin Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said Limited Liability Company has caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. I also certify that this plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection.

APPROVING AGENCIES:

- Village of Menomonee Falls

AGENCIES WHO MAY OBJECT:

- State of Wisconsin, Department of Administration
- Waukesha County, Department of Parks and Land Use

Witness the hand and seal of said Owner this ____ day of _____, 20 ____.

QUIET WOOD DEVELOPMENT, LLC

Marv Berg, President

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

Personally came before me this ____ day of _____, 20____, the above named Marv Berg, President of the above named Limited Liability Company, to me known to be the person who executed the foregoing instrument, and to me known to be such President of said Limited Liability Company, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Limited Liability Company, by its authority.

Print Name:
Public, Waukesha County, WI
My Commission Expires: _____

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

I, Jennifer Grant, being duly elected, qualified and acting Treasurer of the County of Waukesha, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of this ____ Day of _____, 20 ____ on any of the land included in the Plat of "QUIETWOOD ADDITION NO. 2".

Dated this ____ Day of _____, 20 ____.

Jennifer Grant, County Treasurer

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

I, Valerie Emrich, being duly appointed, qualified and acting Interim Treasurer of the Village of Menomonee Falls, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this ____ Day of _____, 20 ____ on any of the land included in the Plat of "QUIETWOOD ADDITION NO. 2".

Dated this ____ Day of _____, 20 ____.

Valerie Emrich, Village Treasurer

VILLAGE BOARD APPROVAL:

Resolved, that the plat of "QUIETWOOD ADDITION NO. 2", in the Village of Menomonee Falls, having been recommended by the Plan Commission, and being the same, is hereby approved and the dedication herein accepted by the Village Board of Trustees of the Village of Menomonee Falls, on this ____ Day of _____, 20 ____.

Jeremy Walz, Village President

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of Trustees of the Village of Menomonee Falls.

Amy Dishinger, Village Clerk

UTILITY EASEMENT PROVISIONS:

An Easement for electric, natural gas, and communications service is hereby granted by

QUIET WOOD DEVELOPMENT, LLC, Grantor, to

WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, and WISCONSIN BELL, INC. doing business as AT&T Wisconsin, a Wisconsin corporation, and SPECTRUM MID-AMERICA, LLC, Grantee, AND

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as 'Utility Easement Areas' and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked 'Utility Easement Areas' without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

CONSENT OF CORPORATE MORTGAGEE:

_____, a corporation duly organized and existing by virtue of the laws of the State of Wisconsin, Mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping of the land described on this Plat, and does hereby consent to the above certificate of QUIET WOOD DEVELOPMENT, LLC, owner, this ____ day of _____, 20 ____.

STATE OF WISCONSIN)
) SS
COUNTY OF _____)

Personally came before me this ____ day of _____, 20____, the above named _____, _____ of the above named corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ of said corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

Print Name:
Public, Waukesha County, WI
My Commission Expires: _____

MENOMONEE FALLS PLAN COMMISSION:

Preliminary Approval: Date: _____

Secretary

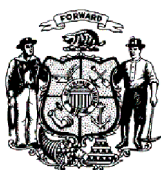
Final Approval: Date: _____

Secretary

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20 ____

Department of Administration



19035 W. Capitol Drive
Suite 200
Brookfield, WI 53045
Phone: (262) 790-1480
Fax: (262) 790-1481